

1. Planning Board Regular Zoom Meeting Agenda - Amended

Documents:

[20201119 NCPB AGENDA AMENDED.PDF](#)

2. Planning Board Staff Reports And Plans

Documents:

[20201105 18 AND 20 DUMAINE AVENUE SITE PLAN STAFF REPORT.PDF](#)  
[20201105 18 AND 20 DUMAINE AVENUE SITE PLAN.PDF](#)



**City of Nashua**  
**Planning Department**  
229 Main Street  
Nashua, New Hampshire 03061-2019

Planning & Zoning 589-3090  
Fax 589-3119  
WEB [www.nashuanh.gov](http://www.nashuanh.gov)

November 13, 2020

**AMENDED AGENDA**

To: NCPB Members

From: Planning Staff

Re: Regular Meeting and Public Hearing, November 19, 2020

Notice is hereby given that a Public hearing of the City of Nashua Planning Board will meet on Thursday, November 19, 2020 at 7:00 PM via a Zoom Meeting. Real-time public comment can be addressed to the Board utilizing Zoom virtual meeting software for remote access. This application will allow users to view the meeting and ask questions to the Board via the chat function. The public is also encouraged to submit their comments via email [planningdepartment@nashuanh.gov](mailto:planningdepartment@nashuanh.gov) to the Department email or by mail (please make sure to include your name/address and comments) by 5pm on November 18, 2020 and read into the record at the appropriate time. Letters should be addressed to City of Nashua, Planning Department, P.O. Box 2019, Nashua, NH 03061. Plans can be viewed on online starting November 13, 2020 at [www.nashuanh.gov](http://www.nashuanh.gov) in the Calendar or Agendas and Minutes.

**To access Zoom:** <https://us02web.zoom.us/j/88279359803?pwd=WGRUa3M3b1N2aW1wKy9oSlpsZ0pvZz09>

Meeting number/access code: **882 7935 9803** – Password: **709888**

To join by phone: **1 (929) 436-2866** - Meeting number/access code: **882 7935 9803**

If for some reason you can't connect to Zoom, please contact us at **(603) 589-3115**.

- A. Call to Order
- B. Roll Call
- C. Approval of Minutes – November 5, 2020
- D. Communications
- E. Report of Chairman, Committee, & Liaison
- F. Executive Session

**OLD BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

**OLD BUSINESS - SUBDIVISION PLANS**

None

## **OLD BUSINESS – SITE PLANS**

None

## **NEW BUSINESS – CONDITIONAL / SPECIAL USE PERMITS**

None

## **NEW BUSINESS – SUBDIVISION PLANS**

None

## **NEW BUSINESS – SITE PLANS**

1. 75 Deerwood Drive, LLC (Owner) - Application and acceptance of proposed 10 unit multi-family residential development. Property is located at 18 & 20 Dumaine Avenue. Sheet H – Lots 137 & 149. Zoned “PI” Park Industrial and “MU” Mixed Use. Ward 2. **(Postponed to the December 3, 2020 Meeting)**

## **OTHER BUSINESS**

1. Review of tentative agenda to determine proposals of regional impact.
2. Referral from the Board of Aldermen on proposed R-20-090, Authorizing the purchase of land and buildings at 55 Franklin Street (Map 68, Lot 53)
3. Referral from the Board of Aldermen on proposed R-20-094, Omnibus Resolution Regarding New Markets Tax Credit Transaction for the Performing Arts Center.

## **DISCUSSION ITEM**

None

## **NONPUBLIC SESSION**

The Planning Board will need to make a motion to enter into a Nonpublic Session under RSA 91-A:3, II (e) for consideration or negotiation of pending claims or litigation which has been threatened in writing or filed against the public body.

## **NEXT MEETING**

December 3, 2020

## **ADJOURN**

## **WORKSHOP**

**ACCOMMODATIONS FOR THE SENSORY IMPAIRED**

**"SUITABLE ACCOMMODATIONS FOR THE SENSORY IMPAIRED  
WILL BE PROVIDED UPON ADEQUATE ADVANCE NOTICE."**

**CONDUCT AT PLANNING BOARD MEETING**

*When the meeting is called to order, the only talking allowed in the Auditorium will be remarks addressed to the Chairman. Except for the original presentation of the subject or application, each person speaking for or against shall be limited to five (5) minutes until all have been given an opportunity to be heard, at which time each person may be allowed additional time if deemed necessary by the Board or the Chairman. When you are recognized by the Chairman, proceed to the podium, using the microphone, state your name and address and then make your comments. Courtesy is shown when you reserve your comments for the proper time.*

**PLEASE BE COURTEOUS**

**By Order of the Chair**

NASHUA CITY PLANNING BOARD  
STAFF REPORT

TO: Nashua City Planning Board  
FROM: Linda McGhee, Deputy Planning Manager  
FOR: November 5, 2020  
RE: **New Business #4 - Site Plan**

**I. Project Statistics:**

Owner/Applicant: 75 Deerwood Drive, LLC  
Proposal: Site plan to construct 10 unit multi-family residential development  
Location: 18 & 20 Dumaine Avenue  
Total Site Area: 30,492 sf  
Existing Zoning: PI-Park Industrial & MU-Mixed Use  
Surrounding Uses: Commercial and residential

**II. Background Information:**

Both parcels contain single family homes built in the 1950s. The lots are developed containing a mixture of buildings, pavement, lawn and trees (mostly pine).

**III. Project Description:**

The project proposes to construct a 10 unit, two-story residential condominium development with driveways. Units are to be 2-stories with a garage and constructed on a slab with no basements. Pennichuck water, City sewer, gas and underground utilities are proposed. Trash bins will be provided; no dumpsters are proposed.

The stormwater management system will be comprised of catch basins and underground utilities. Runoff from the pavement will be collected and treated by deep sump catch basins equipped with oil/gas traps. Runoff from paved surfaces will be collected and conveyed to underground plastic infiltration chambers. Roof runoff will also be directed to underground infiltration.

Two waivers are being requested. The first is from the requirement to show existing conditions on adjacent parcels and the second is for a Traffic Impact Report (see attached letter from Peter Dolloff dated October 28, 2020).

Within the Mixed Use Districts, all site plans submitted to the planning board for approval shall be accompanied by a site plan suitability report and is subject to the provisions of the code. The report has been attached for the Board's review. In approving any site plan under the provisions of this section, §190-23F, the planning board may vary the dimensional requirements of the underlying zone.

City Staff reviewed the plans; comments are attached

### **Staff Recommendations and Findings:**

The Planning Board should make a determination that the plan meets, or does not meet, the requirements outlined in the Site Plan NRO § 190-146(D) and §190-23F. The Board should review these prior to making a motion. If the Planning Board chooses to disapprove the plan, specific reasons should be given. If the Planning Board chooses to approve this plan, staff recommends the following stipulations be made part of that approval:

1. The request for a waiver of NRO § 190-279 (EE), which requires an existing conditions on site and adjacent parcels, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
2. The request for a waiver of NRO § 190-279 (OO), which requires a traffic report, **is/is not** granted, finding that the waiver **will/will not** be contrary to the spirit and intent of the regulation.
3. Prior to the Chair signing the plan, minor drafting corrections will be made.
4. Prior to the Chair signing the plan, all conditions from the Planning Board approval letter will be added to the cover page of the final mylar and paper copies submitted to the City.
5. Prior to the issuance of a building permit, the lots will be merged.
6. Prior to the issuance of a building permit, all comments in an e-mail from Joe Mendola, Street Construction Engineer dated \_\_\_\_\_ shall be addressed to the satisfaction of the Engineering Department.
7. Prior to the issuance of a building permit, the applicant shall provide documents establishing a homeowners or condominium association, which will be responsible for maintaining all property in common ownership. The documents shall be submitted to the Planning Department and Corporation Counsel for review.
8. Prior to the issuance of a building permit, stormwater documents will be submitted to City staff for review and recorded at the applicant's expense.
9. Prior to the issuance of a building permit, the electronic file of the plan will be submitted to the City of Nashua.
10. Prior to any work on site, a pre-construction meeting shall be held and a financial guarantee shall be approved.
11. Prior to issuance of the final certificate of occupancy for the development, an as-built plan locating all driveways, units, other buildings, utilities and site landscaping shall be completed by a professional engineer and submitted to the Planning Department. The as-

built plan shall include a statement that all construction was generally completed in accordance with the approved site plan and applicable local regulations.

12. Prior to the issuance of the last Certificate of Occupancy, all site improvements will be completed.

H-134	75 DEERWOOD DR BLDG 1	SOUSA, MARK A &	75 DEERWOOD DR	NASHUA NH 03063
H-134	75 DEERWOOD DR U-A	PATEL, BABUBHAI R &	75A DEERWOOD DR	NASHUA NH 03062
H-134	75 DEERWOOD DR U-B	STEPHAN, CONEY P &	75B DEERWOOD DR	NASHUA NH 03063
H-134	75 DEERWOOD DR U-C	TURNER, CHRISTOPHER M	75C DEERWOOD DR	NASHUA NH 03063
H-134	75 DEERWOOD DR U-D	TUCHUSA-HORTMAN, WILLIAM D &	75D DEERWOOD DR	NASHUA NH 03063
H-134	75 DEERWOOD DR U-E	BALASINGAM, SRIBALAMURAH &	57 MAJESTIC AVE	NASHUA NH 03063
H-134	75 DEERWOOD DR U-F	FERNANDES, THAY &	75F DEERWOOD DR	NASHUA NH 03062
H-134	77 DEERWOOD DR U-A	SMITH, CHARLES A	77A DEERWOOD DR	NASHUA NH 03063
H-134	77 DEERWOOD DR U-B	MARAPPAN, SARAVANAR RATHINA	77B DEERWOOD DR	NASHUA NH 03063
H-134	77 DEERWOOD DR U-C	GOSLIV, JONATHAN T	77C DEERWOOD DR U-C	NASHUA NH 03063
H-134	77 DEERWOOD DR U-D	MICELI, MARK A	77 D DEERWOOD DR	NASHUA NH 03063
H-134	77 DEERWOOD DR U-E	XLEN, JASON E	77 DEERWOOD DR U-E	NASHUA NH 03063
H-134	77 DEERWOOD DR U-F	NGUYEN, VAN DAT &	28 WESCOTT CIR	TEMBURSBURY MA 01876
H-134	77 DEERWOOD DR U-G	FOLLAD, MARCUS CARL RYD	77 DEERWOOD DR G	NASHUA NH 03063

**PLAN REFERENCE:**

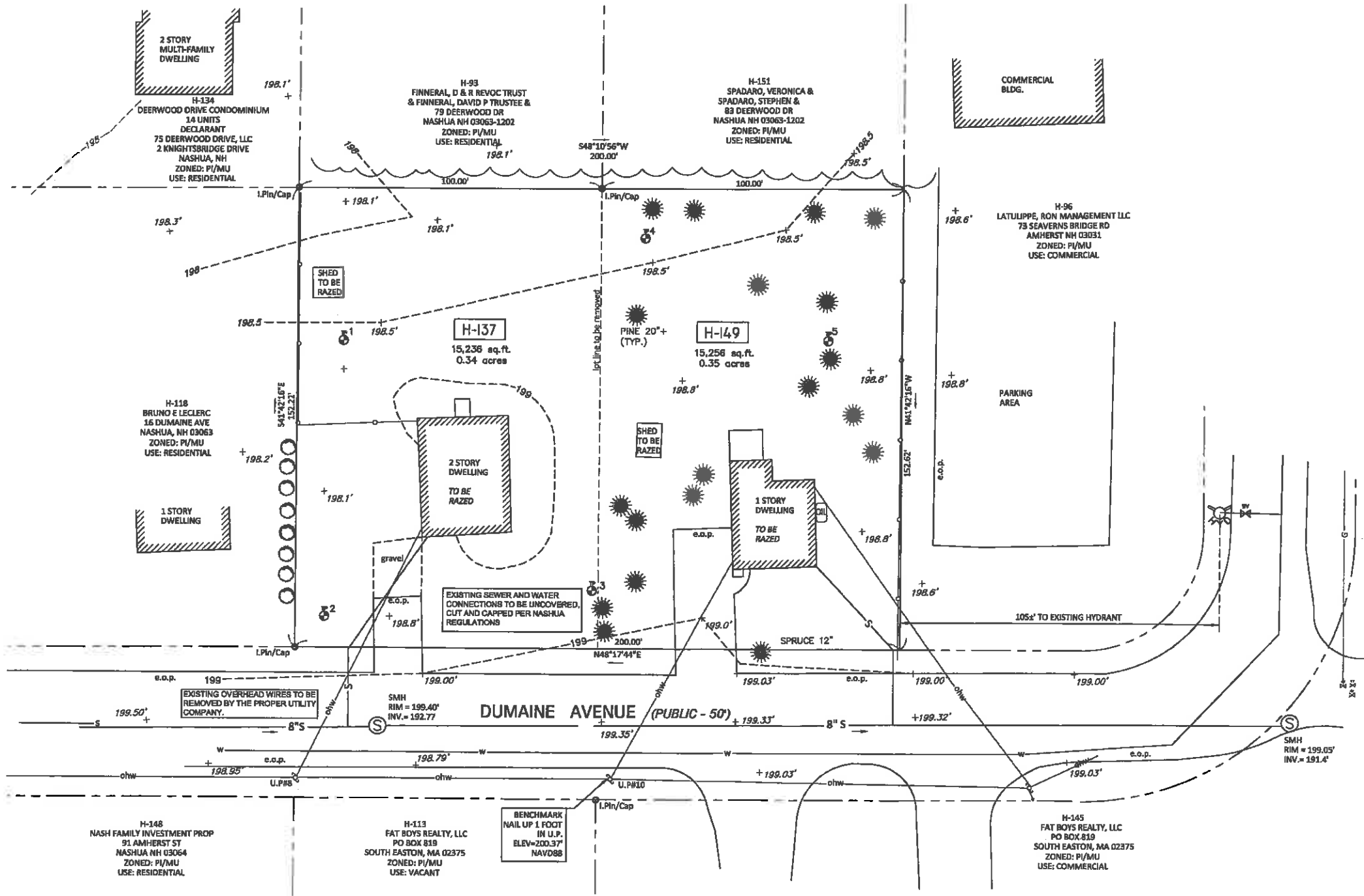
H.C.R.D. PLAN NO. 440

**NOTES:**

- SUBJECT LOTS: NASHUA TAX MAP H LOTS 137 AND 149 DUMAINE AVENUE, NASHUA, NH
- RECORD OWNER: 75 DEERWOOD DRIVE, LLC 2 KNIGHTSBRIDGE DRIVE NASHUA, NH 03063
- DEED REFERENCES: H.C.R.D. BOOK: 0090 PAGE: 1120 H.C.R.D. BOOK: 0128 PAGE: 2561
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF THE SUBJECT LOTS.
- DUMAINE AVENUE DRIVE IS SERVICED BY MUNICIPAL SEWER, WATER BY PENNICHUCK AND ELECTRIC BY EVERSOURCE.
- ELEVATION DATA SHOWN HEREON IS THE RESULT OF AN ON THE GROUND SURVEY CONDUCTED BY THIS OFFICE. DATUM IS NAVD 88. BENCHMARK SET AS SHOWN.
- UNDERGROUND UTILITY LOCATION AND DEPTH SHOWN ARE APPROXIMATE BASED ON SURFACE EVIDENCE ALONG WITH RECORD PLANS FOR INVERT DATA. LOCATIONS TO BE VERIFIED BY THE PROJECT CONTRACTOR. THERE MAY BE GAS IN THE AREA. CONTRACTOR TO CONTACT DIG SAFE PRIOR TO ANY EXCAVATION. CALL DIG SAFE - 811.
- BOUNDARY INFORMATION BASED ON INSTRUMENTS OF RECORD ALONG WITH AN ACCURATE BOUNDARY SURVEY CONDUCTED BY THIS OFFICE.
- THE SUBJECT PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO THE FEMA "FIRM" - FLOOD INSURANCE RATE MAP, CITY OF NASHUA, NEW HAMPSHIRE, HILLSBOROUGH COUNTY MAP NO. 330097 0461D, EFFECTIVE DATE SEPTEMBER 25, 2009
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND/OR DETERMINING THE LOCATION, MATERIAL, SIZE AND ELEVATION OF ALL EXISTING UNDERGROUND UTILITIES INCLUDING SEWER.

**LEGEND**

- X 198.5 SPOT GRADE
- - - 198 ELEVATION CONTOUR
- - - ABUTTER FL. Δ
- 8" S EDGE OF PAVEMENT
- U.P. UTILITY POLE
- O.H.W. OVERHEAD WIRES
- GUY POLE
- S.M.H. SEWER MAN HOLE
- S.F. STOCKADE FENCE
- I.P.W. IRON PIN WITH CAP
- S.L. SEWER LINE
- W.L. WATER LINE
- D.L. DRAIN LINE
- S.M.H. SEWER MAN HOLE
- D.M.H. DRAIN MAN HOLE
- C.B. CATCH BASIN
- W.V. WATER VALVE

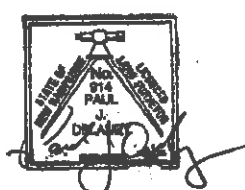
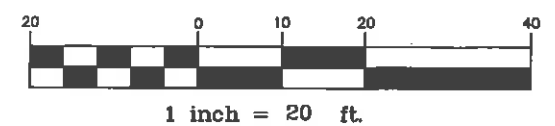


**Existing Conditions**  
**Tax Parcel H-137 & H-149**  
 Dumaine Avenue  
 City of Nashua,  
 Hillsborough County,  
 New Hampshire  
 prepared for:  
 75 Deerwood Drive, LLC  
 2 Knightsbridge Drive  
 Nashua, NH

**GATE CITY SURVEY**  
 Planning Surveying Engineering  
 WWW.GATECITYSURVEY.COM

1 Tara Boulevard - Suite 200 - Nashua, NH 03062 Tel: 603-882-4655  
 Project: 20280 Scale: 1" = 20' Date: 08 / 24 / 2020 SHEET: 2 OF 10

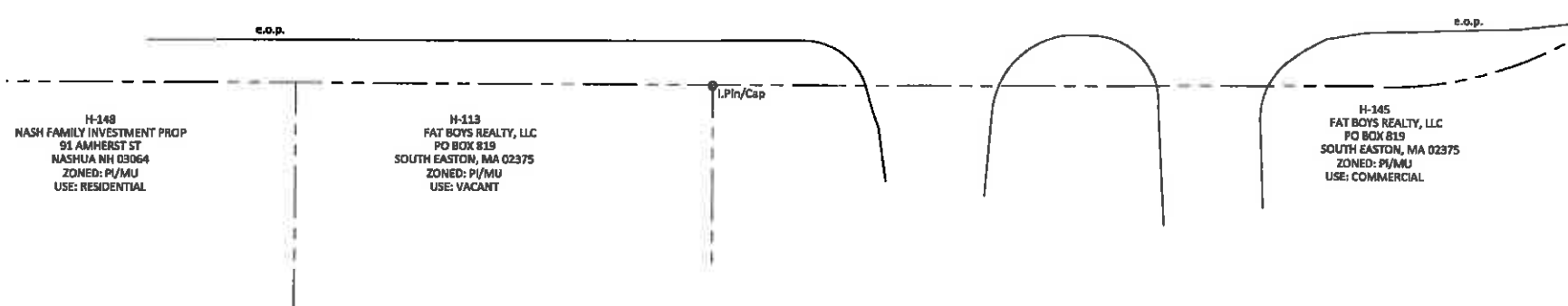
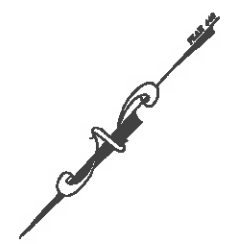
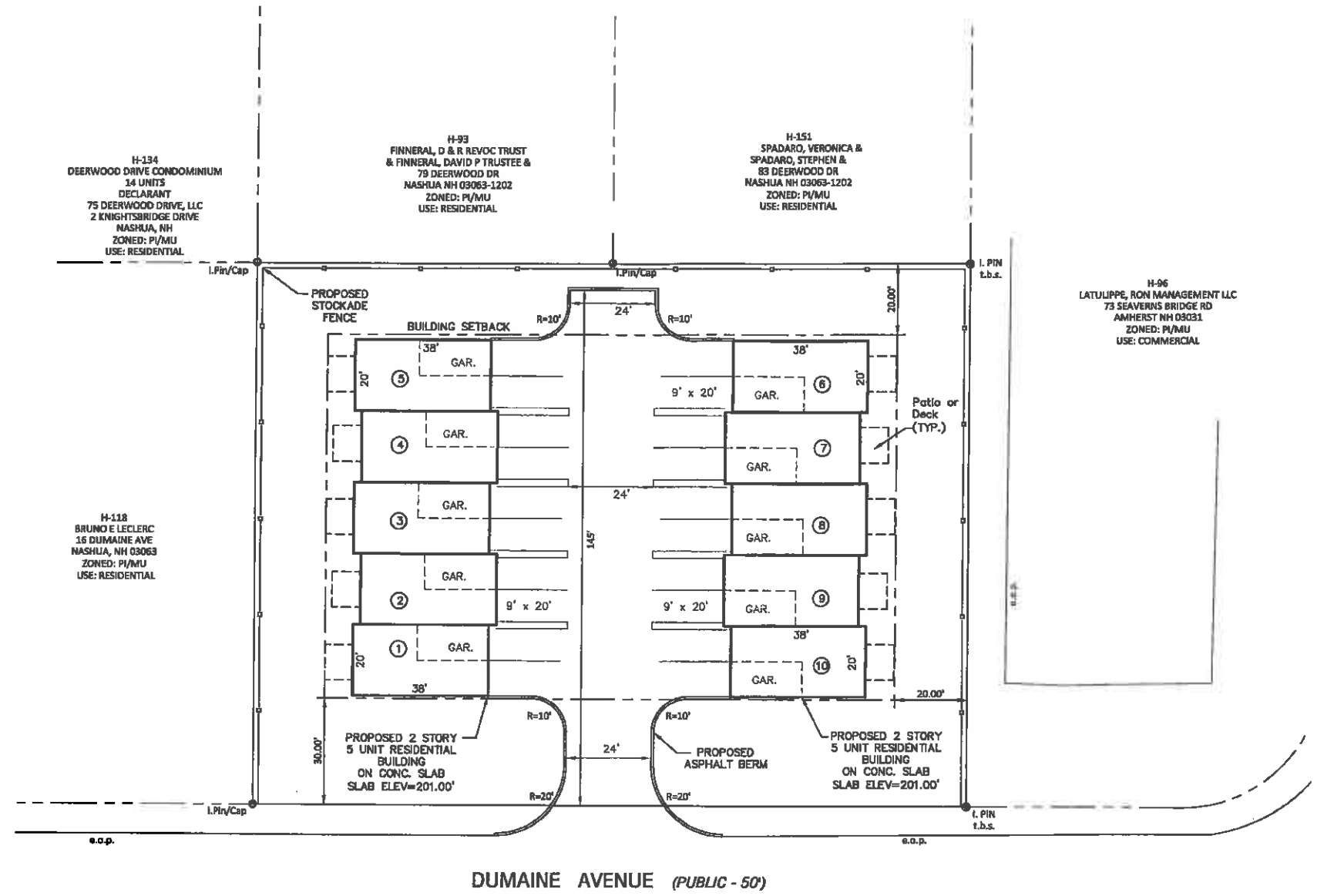
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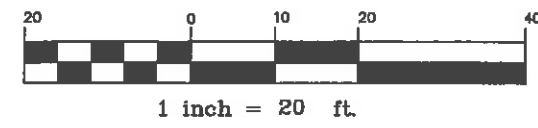
**NOTES:**

- SUBJECT LOTS:  
NASHUA TAX MAP H LOTS 137 AND 149  
18 & 20 DUMAINE AVENUE,  
NASHUA, NH 03063
  - RECORD OWNER:  
75 DEERWOOD DRIVE, LLC  
2 KNIGHTSBRIDGE DRIVE  
NASHUA, NH 03063
  - DEED REFERENCES:  
H.C.R.D. BOOK 0090 PAGE: 1120  
H.C.R.D. BOOK 0123 PAGE: 2581
  - PLAN REFERENCE: H.C.R.D. PLAN NO. 440
  - THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED 10 UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT.
  - CURRENT ZONING: P1 / MIXED USE OVERLAY
- |                    | REQUIRED    | PROPOSED    |
|--------------------|-------------|-------------|
| MIN. LOT SIZE:     | 30,000 s.f. | 30,492 S.F. |
| MIN. LOT FRONTAGE: | 50'         | 200'        |
| MIN. LOT WIDTH:    | 120'        | 200'        |
| MIN. LOT DEPTH:    | 150'        | 150'+       |
- |                     | REQUIRED | PROPOSED |
|---------------------|----------|----------|
| MINIMUM OPEN SPACE: | 20%      | 49%      |
| MAX. HEIGHT:        | 7'       | 3'       |
| MAX. STORIES:       | 5        | 2        |
| MAX. F.A.R.:        | N/A      | N/A      |
| MAX. DENSITY:       | N/A      | 10 Units |
- MINIMUM BUILDING SETBACKS:  
FRONT: 30' SIDE AND REAR: 20'
  - CURRENT USE: RESIDENTIAL PROPOSED USE: MULTI FAMILY RESIDENTIAL
  - PARKING REQUIREMENTS: RESIDENTIAL- MULTI FAMILY : 1.5 PER UNIT
- | REQUIRED                     | PROVIDED |
|------------------------------|----------|
| 1.5 PER UNIT x 10 UNITS = 15 | 30       |
- THERE ARE NO WETLANDS ON THIS SITE OR ON DIRECT ABUTTING PARCELS.
  - THE SUBJECT PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO THE FEMA "FIRM" - FLOOD INSURANCE RATE MAP, CITY OF NASHUA, NEW HAMPSHIRE, HILLSBOROUGH COUNTY MAP NO. 330087 0461D, EFFECTIVE DATE SEPTEMBER 26, 2009
  - BUILDINGS TO BE CONTRACTED ON A CONCRETE SLAB WITH NO BASEMENTS.
  - UNDERGROUND UTILITIES ARE TO BE FIELD VERIFIED BY CONTRACTOR. DIAL 811 FOR DIG-SAFE.
  - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE 111 OF THE AMERICAN DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
  - ALL LANDSCAPING SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS.
  - ELECTRICAL / TELEPHONE SERVICES WILL BE PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND INSTALLED BY THE DEVELOPER.
  - AN ON SITE INVESTIGATION CONDUCTED ON MAY 24, 2018 CONFIRMED THE ONSITE SOILS WOULD SUPPORT THE USE OF AN INFILTRATION SYSTEM. THE FOUNDATIONS WOULD NOT NEED FOUNDATION DRAINS GIVEN THE SOILS CONDITIONS FOUND.
  - ALL SIGNAGE SHALL CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS WITH ALL PERMITS SECURED PRIOR TO INSTALLATION (SEE ARTICLE III, DIVISION 9).
  - THE CONTRACTOR SHALL FOLLOW THE EROSION CONTROL AND BEST MANAGEMENT PRACTICES TO COMPLY WITH RSA 148:2 (a). THE CONTRACTOR SHALL OBTAIN A COPY OF RSA 148:2 (a) PRIOR TO CONSTRUCTION TO FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS.
  - IT SHALL BE UNLAWFUL TO MODIFY, CHANGE, OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN IN ANY WAY WHATSOEVER, OR CONVERT OR ALTER ANY STRUCTURE SHOWN ON THIS SITE PLAN, OR CHANGE THE ABOVE USE INDICATED ON THE PLAN WITHOUT RECEIVING APPROVAL FROM THE CITY.
  - STREET RESTORATION TO BE DONE IN ACCORDANCE WITH NR0 285-13.
  - ALL WORK RELATED TO SEWER TO BE DONE BY A LICENSED DRAIN LAYER.
  - SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM TO TITLE 111 OF THE AMERICAN DISABILITIES ACT WITH REGARD TO DIMENSIONS AND GRADE AND NUMBER OF SPACES.
  - PRIOR TO ANY WORK BEING CONDUCTED A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PLANNING STAFF AND OTHER CITY DEPARTMENTS AS NECESSARY TO REVIEW WORK PROPOSED.
  - DRAIN LINES WILL BE INSPECTED PRIOR TO BACKFILLING AND PAVING.
  - ALL SITE LIGHTING SHALL BE DIRECTED ONTO SITE AND CONFORM TO THE APPLICABLE CITY OF NASHUA ZONING REGULATIONS (SEE ARTICLE III, DIVISION 9).
  - TRASH BINS WILL BE PROVIDED TO RESIDENTS FOR WEEKLY PICK UP NO DUMPSTERS ARE PROPOSED.
  - ALL PROPOSED UTILITIES ARE UNDERGROUND INCLUDING SEWER, WATER, GAS, AND ELECTRIC/TELECOM/CATV.



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY CONDUCTED ON THE GROUND BY THIS OFFICE WITH A PRECISION OF CLOSURE GREATER THAN 1 PART IN 10,000 ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

DATE: 8/24/20



**Site Layout Plan**  
**Tax Parcel H-137 & H-149**  
**Dumaine Avenue**  
**City of Nashua,**  
**Hillsborough County,**  
**New Hampshire**  
 prepared for:  
**75 Deerwood Drive, LLC**  
**2 Knightsbridge Drive**  
**Nashua, NH**  
**GATE CITY SURVEY**  
 Planning Surveying Engineering  
 WWW.GATECITYSURVEY.COM  
 1 Tara Boulevard - Suite 200 - Nashua, NH 03062 Tel: 603-882-4655  
 Project: 20280 Scale: 1" = 20' Date: 08 / 24 / 2020 SHEET: 4 OF 10

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**NOTES:**

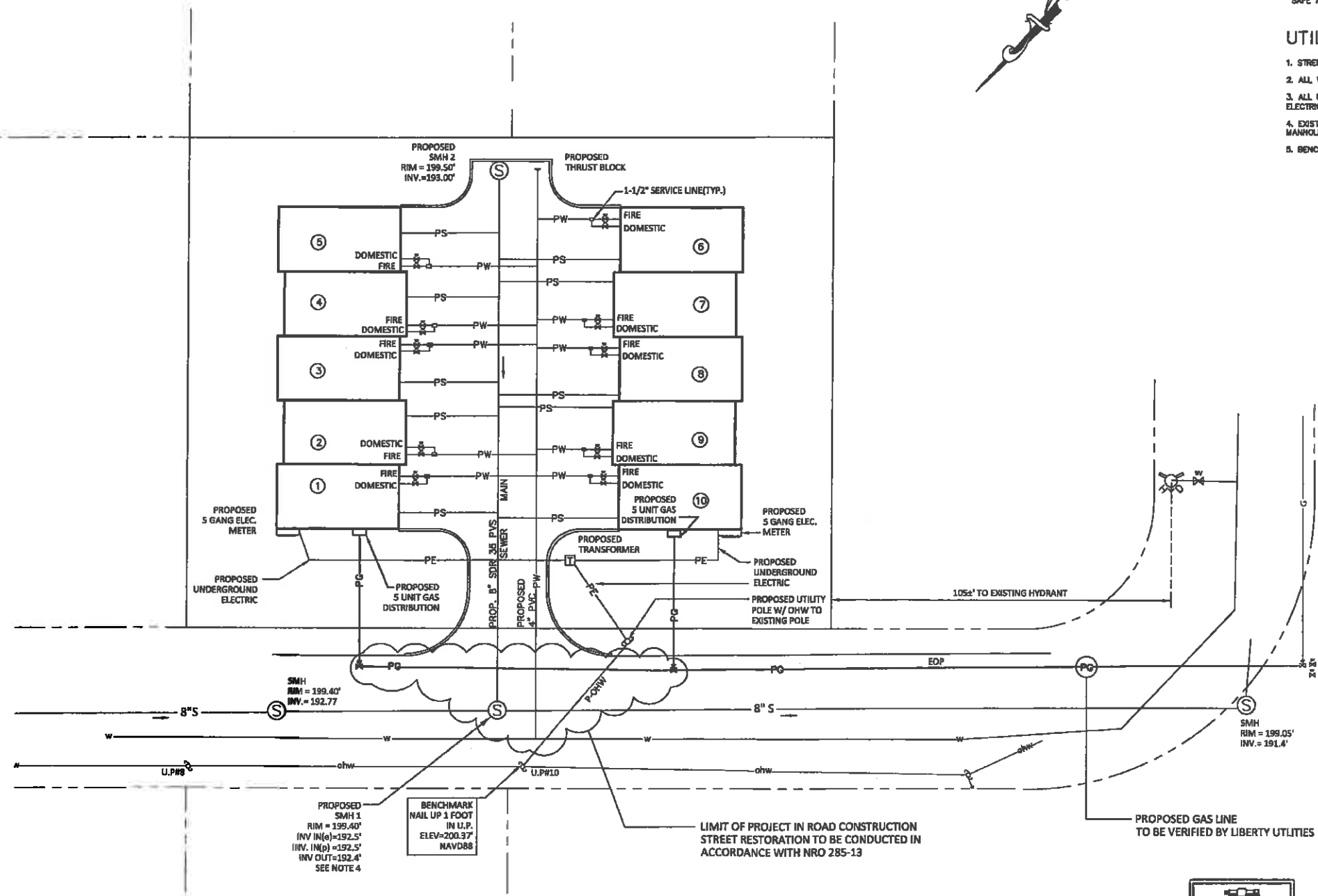
1. CONTRACTOR TO CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN PROPER PERMITS AND SPECIFICATION FOR ANY UTILITY WORK.
2. IF THERE ARE CONDITIONS THAT ARISE DURING CONSTRUCTION THAT WOULD CAUSE A CHANGE IN THESE DESIGN PLANS THE CONTRACTOR SHALL COORDINATE THE CHANGES WITH THE ENGINEER OF RECORD.
3. THE CONTRACTOR SHALL COORDINATE ANY WORK WITHIN THE PUBLIC RIGHTS OF WAY WITH THE CITY AND PROVIDE TRAFFIC SAFETY MEASURES AS APPLICABLE.
4. THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN SET HAVE NOT BEEN VERIFIED IN THE FIELD AND ARE BASED ON RECORD PLANS OR SURFACE EVIDENCE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY UTILITY LOCATIONS AND DEPTHS, INCLUDING CONTACTING DIG SAFE AND ALL OTHER LOCAL AND STATE PROTOCOLS.

**UTILITY AND STREET RESTORATION NOTES:**

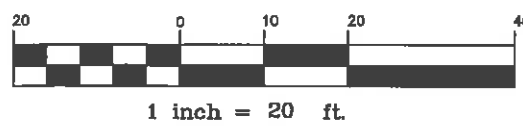
1. STREET RESTORATION TO BE DONE IN ACCORDANCE WITH NRO 285-13
2. ALL WORK RELATED TO SEWER TO BE DONE BY A LICENSED DRAIN LAYER.
3. ALL UTILITIES PROPOSED ARE UNDERGROUND INCLUDING SEWER, WATER, GAS, AND ELECTRIC/TELECOM/CATV.
4. EXISTING SEWER, WATER AND GAS TO BE FIELD VERIFIED BY CONTRACTOR. SEWER MANHOLES WERE UNABLE TO BE OPENED DUE TO SEIZED RIMS OR TRIANGLE RIM.
5. BENCHMARK SHOWN IS ON NAVD 88 DATUM.

**LEGEND**

	PROPOSED GAS
	PROPOSED OVERHEAD WIRE
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED UNDERGROUND ELECTRIC
	ELEVATION CONTOUR
	ABUTTER PL ±
	EDGE OF PAVEMENT
	ASPHALT BERM
	PAVEMENT STRIPING
	UTILITY POLE
	OVERHEAD WIRES
	GUY POLE
	A/C EQUIPMENT
	IRON PIN WITH CAP
	SEWER LINE
	WATER LINE
	SEWER MAN HOLE



Rev #	Revision	date:	by:



**Utilities**  
**Tax Parcel H-137 & H-149**  
**Dumaine Avenue**  
**City of Nashua,**  
**Hillsborough County,**  
**New Hampshire**

prepared for:  
**75 Deerwood Drive, LLC**  
**2 Knightsbridge Drive**  
**Nashua, NH**  
**GATE CITY SURVEY**  
**Planning Surveying Engineering**  
 WWW.GATECITYSURVEY.COM

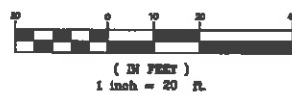
**STORMWATER MANAGEMENT NOTES:**

1. STORMWATER MANAGEMENT SYSTEM OWNER:  
SEQUEL DEVELOPMENT AND MANAGEMENT, INC.  
2 KNIGHTSBRIDGE DRIVE  
NASHUA, NH 03063
2. THE RESPONSIBLE PARTY FOR OPERATION AND MAINTENANCE:  
SEQUEL DEVELOPMENT AND MANAGEMENT, INC.  
2 KNIGHTSBRIDGE DRIVE  
NASHUA, NH 03063
3. INFILTRATION CHAMBERS  
THE CHAMBERS ARE MANUFACTURED BY STORM TECH, LLC. THE MANUFACTURER RECOMMENDS THE SYSTEM BE INSPECTED THROUGH THE INSPECTION PORTS IN THE ISOLATER ROW WITHOUT THE NEED FOR A CONFINED SPACE ENTRY. THE STORM TECH ISOLATER ROWS ARE THE ROWS TO BE INSPECTED. THIS ROW IS UNIQUE IN THAT IT INITIALLY RECEIVES THE INFLO FROM THE UPSTREAM STORMWATER COLLECTION SYSTEM. UPON DETECTION OF SEDIMENT OF MORE THAN 3" A CONTRACTOR WITH A VACUUM TRUCK WILL BE ENGAGED TO CLEAN FROM THE MAIN HOLE AT THE END OF THE ISOLATER ROW.  
THE INFILTRATION/DETENTION SHOULD BE INITIALLY INSPECTED IMMEDIATELY AFTER THE SITE CONSTRUCTION FOR EXCESSIVE SOIL/SEDIMENT COLLECTION. AFTER THE SITE CONSTRUCTION HAS BEEN COMPLETED AND ALL LAWN AREAS HAVE ESTABLISHED A MATURE GRASS ROOT SYSTEM, THE SYSTEM CAN THEN BE INSPECTED BIENNUELY, SPRING AND FALL. THE ENTIRE INFILTRATION SYSTEM SHOULD BE INSPECTED IMMEDIATELY AFTER A CHEMICAL OR HYDROCARBON SPILL OF (5) GALLONS OR MORE HAS OCCURRED, ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN AN AVERAGE DEPTH OF 3 INCHES OR MORE IS DETECTED IN THE CHAMBER. THE SYSTEM SHOULD BE INSPECTED IMMEDIATELY AFTER A STORM EVENT.  
DEEP SUMP CATCH BASINS  
CATCH BASINS SHOULD BE INSPECTED AND CLEARED AT LEAST FOUR TIMES A YEAR OR WHEN THE DEPTH OF SEDIMENT IS TWO FEET OR MORE. THE SUMP MAINHOLES SHOULD BE CLEARED AT LEAST TWICE ANNUALLY OR WHEN EXCESSIVE SEDIMENT HAS ACCUMULATED. ADDITIONALLY THESE STRUCTURES SHOULD BE INSPECTED AND CLEARED IMMEDIATELY AFTER A CHEMICAL OR HYDROCARBON SPILL OF (5) GALLONS OR MORE HAS OCCURRED AND FOLLOWING A MAJOR STORM EVENT. ADDITIONAL INSPECTION AND CLEANINGS SHOULD BE SCHEDULED BASED ON WEATHER AND SITE CONDITIONS. CATCH BASINS SHOULD BE CLEARED OF SNOW.
4. EXECUTION OF THE OPERATION AND MAINTENANCE PLAN SHALL BE CONSIDERED A CONDITION OF APPROVAL OF ANY SITE PLAN RUN WITH THE PROPERTY. THE OWNER SHALL PROVIDE COVENANTS FOR FILING WITH THE REGISTRY OF DEEDS, IN A FORM SATISFACTORY TO THE PLANNING BOARD, WHICH PROVIDE THAT THE OBLIGATIONS OF THE MAINTENANCE PLAN RUN WITH THE LAND.
5. THE OWNER SHALL PROVIDE FOR FILING WITH THE REGISTRY OF DEEDS SUCH LEGAL INSTRUMENTS AS ARE NECESSARY TO ALLOW THE CITY OR ITS DESIGNEE TO INSPECT OR MAINTAIN THE STORMWATER MANAGEMENT SYSTEMS FOR COMPLIANCE WITH THE O&M PLAN.
6. THE OWNER SHALL KEEP THE O&M PLAN CURRENT, INCLUDING MAKING MODIFICATIONS TO THE O&M PLAN AS NECESSARY TO ENSURE THAT BMP'S CONTINUE TO OPERATE AS DESIGNED AND APPROVED. PROPOSED MODIFICATIONS OF O&M PLANS WILL BE SUBMITTED TO THE PLANNING BOARD FOR REVIEW AND APPROVAL. ALSO, THE OWNER MUST NOTIFY THE PLANNING BOARD WITHIN THIRTY (30) DAYS OF A CHANGE IN OWNER OR PARTY RESPONSIBLE FOR IMPLEMENTING THE PLAN. PROPOSED CHANGES IN INSPECTION FREQUENCY, MAINTENANCE SCHEDULE, OR MAINTENANCE ACTIVITY SHALL ALSO BE SUBMITTED, ALONG WITH APPROPRIATE DOCUMENTATION, FOR REVIEW AND APPROVAL. THE PLANNING BOARD MAY, IN ITS DISCRETION, APPROVE A REDUCTION IN THE FREQUENCY OF INSPECTION OR MAINTENANCE OR A CHANGE IN MAINTENANCE ACTIVITY, PROVIDED THAT THE OWNER HAS DEMONSTRATED THAT SUCH CHANGES WILL NOT COMPROMISE THE LONG-TERM FUNCTION OF THE STORMWATER SYSTEM. THE PLANNING DIRECTOR SHALL WITHIN SIXTY (60) DAYS NOTIFY THE OWNER OF ACCEPTANCE OF THE PLAN MODIFICATION OR REQUEST ADDITIONAL INFORMATION. NO RESPONSE FROM THE PLANNING BOARD AT THE END OF SIXTY (60) DAYS SHALL CONSTITUTE ACCEPTANCE OF THE PLAN MODIFICATION. THE CURRENTLY APPROVED PLAN SHALL REMAIN IN EFFECT UNTIL NOTIFICATION OF APPROVAL HAS BEEN ISSUED, OR THE SIXTY (60) DAY PERIOD HAS LAPSED.
7. THE OWNER SHALL RETAIN RECORDS (SUCH AS MAINTENANCE LOGS AND CONTRACTOR RECEIPTS) DEMONSTRATING COMPLIANCE WITH THE SCHEDULED MAINTENANCE ACTIVITIES FOR A PERIOD OF NOT LESS THAN THREE (3) YEARS. THE CITY MAY REQUEST COPIES OF SUCH RECORDS, OR MAY REQUEST REPRODUCTION OF SUCH RECORDS ON THE PROPERTY. FAILURE TO PRODUCE SUCH RECORDS OR COPIES OF SUCH RECORDS WITHIN FOURTEEN (14) DAYS OF SUCH A REQUEST SHALL CONSTITUTE A CONDITION OF NON-COMPLIANCE WITH SITE PLAN APPROVAL, SUBJECT TO ENFORCEMENT AS OUTLINED UNDER SECTION 16-147.
8. THE OWNER SHALL ENSURE THAT AN ANNUAL REPORT IS PROVIDED TO THE PLANNING DIRECTOR ON OR BEFORE THE FIRST DAY OF JANUARY OF EACH YEAR. SUCH REPORTS SHALL, AT A MINIMUM, INCLUDE:  
(1) THE LOCATION OF THE PROPERTY  
(2) THE NAME, ADDRESS, AND PHONE NUMBER OF THE OWNER  
(3) THE NAME, ADDRESS, AND PHONE NUMBER OF THE PARTY RESPONSIBLE FOR MAINTENANCE IF OTHER THAN THE OWNER  
(4) A BRIEF DESCRIPTION OF THE SITE USES AND STORMWATER MANAGEMENT SYSTEM  
(5) A SUMMARY OF INSPECTIONS COMPLETED AND THE RESULTS OF SUCH INSPECTIONS  
(6) A SUMMARY OF ANY MAINTENANCE ACTIVITIES OR CORRECTIVE ACTIONS UNDERTAKEN  
9. ANNUAL REPORTS SHALL BE SIGNED BY THE OWNER OR OTHER LEGALLY RESPONSIBLE PARTY, AND SHALL ATTEST TO THE ACCURACY OF INFORMATION PROVIDED IN THE REPORT. FAILURE TO SUBMIT ANNUAL REPORTS SHALL CONSTITUTE A CONDITION OF NON-COMPLIANCE WITH SITE PLAN APPROVAL SUBJECT TO ENFORCEMENT AS OUTLINED UNDER SECTION 16-147
10. IN ADDITION TO ALL OTHER REMEDIES AVAILABLE TO THE CITY, IN THE EVENT THAT THE OWNER HAS FAILED TO MAINTAIN SUCH SYSTEMS IN ACCORDANCE WITH THE APPROVED OPERATION AND MAINTENANCE PLAN, THE CITY MAY SECURE THE MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS AT THE OWNER'S EXPENSE UNDER THE PROVISIONS OF NH RSA 676:17-9

I CERTIFY THAT I SHALL COMPLY WITH ALL OF THE OPERATION AND MAINTENANCE PLAN REGULATIONS AS SET FORTH IN SECTION 16-146 OF THE CITY OF NASHUA ZONING AND SUBDIVISION ORDINANCES

OWNER/APPLICANT \_\_\_\_\_ DATE: \_\_\_\_\_

**GRAPHIC SCALE**



Rev #	Revision	date:	by:

**SOIL EVALUATION RESULTS: TEST PITS 1 THROUGH 5**

<p>FEBRUARY 24, 2020, 1:00 PM PERFORMED BY: DAVID ROMERO, PE, SOIL EVALUATOR SUNNY 57</p> <p>TEST PIT #1</p> <p>0-8" A 10YR3/3 SL PINE WOODS, DENSE NEEDLE COVER 8-16" Bw 10YR3/2 SL 16-64" C 10YR5/6 S MED TO COARSE SAND</p> <p>NO LEDGE NO REDOX SEASONAL HIGH WATER TABLE @66"</p>	<p>FEBRUARY 24, 2020, 1:00 PM PERFORMED BY: DAVID ROMERO, PE, SOIL EVALUATOR SUNNY 57</p> <p>TEST PIT #1</p> <p>0-5" A 8-16" Bw 10YR3/3 SL LAWN/SOD 16-72" C 10YR3/4 SL 10YR5/6 S MED TO COARSE</p> <p>NO LEDGE NO REDOX SEASONAL HIGH WATER TABLE @66"</p>
<p>FEBRUARY 24, 2020, 1:00 PM PERFORMED BY: DAVID ROMERO, PE, SOIL EVALUATOR SUNNY 57</p> <p>TEST PIT #2</p> <p>0-4" A 10YR3/2 SL SOD, PINE AND OAK TREES 4-16" Bw 10YR5/8 SL 16-76" C 10YR5/4 S MED TO COARSE SAND</p> <p>NO LEDGE NO REDOX SEASONAL HIGH WATER TABLE @66"</p>	<p>FEBRUARY 24, 2020, 1:00 PM PERFORMED BY: DAVID ROMERO, PE, SOIL EVALUATOR SUNNY 57</p> <p>TEST PIT #3</p> <p>0-4" A 10YR3/2 SL SOD, PINES 4-16" Bw 10YR5/8 SL 16-72" C 10YR5/4 S MED TO COARSE SAND</p> <p>NO LEDGE NO REDOX SEASONAL HIGH WATER TABLE @66"</p>
<p>FEBRUARY 24, 2020, 1:00 PM PERFORMED BY: DAVID ROMERO, PE, SOIL EVALUATOR SUNNY 57</p> <p>TEST PIT #4</p> <p>0-8" A 10YR3/3 SL PINE WOODS 8-15" B 10YR3/2 SL 16-106" C 10YR5/3 S MED TO COARSE SAND FEW STONES</p> <p>NO LEDGE NO REDOX SEASONAL HIGH WATER TABLE @64"</p>	<p>FEBRUARY 24, 2020, 1:00 PM PERFORMED BY: DAVID ROMERO, PE, SOIL EVALUATOR SUNNY 57</p> <p>TEST PIT #4</p> <p>0-8" A 10YR3/3 SL PINE WOODS 8-15" B 10YR3/2 SL 16-106" C 10YR5/3 S MED TO COARSE SAND FEW STONES</p> <p>NO LEDGE NO REDOX SEASONAL HIGH WATER TABLE @64"</p>



**NOTES:**

1. CONTRACTOR TO REPLACE DISTURBED AREA WITH 4" OF LOAM AND SEED.
2. CONTRACTOR TO CONTACT THE CITY AND DISSAFE TO VERIFY UTILITY LOCATIONS AND COORDINATE THEIR WORK WITH THE PROPER CITY DEPARTMENTS.
3. PROPOSED STORM TECH CHAMBERS AND TRENCH DRAIN TO BE CONSTRUCTED PER MANUFACTURER SPECIFICATIONS
4. CONTRACTOR IS TO CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN PROPER PERMITS AND SPECIFICATION FOR ANY UTILITY WORK.
5. THE EROSION CONTROL BLANKETS SHALL BE INSTALLED OVER THE LOAM AND SEED TO PROTECT IT FROM EROSION POTENTIAL. THE CONTRACTOR MAY INSTALL THE EROSION CONTROL BLANKET OVER THE LOAM AND HYDROSEED. IN EITHER CASE THE BLANKET SHOULD BE DAMPENED AFTER INSTALLATION TO PROMOTE GRASS GROWTH.
6. ADDITIONAL EROSION CONTROL MEASURES SHOULD BE TAKEN DURING THE WINTER MONTHS.
7. IF THERE ARE CONDITIONS THAT ARISE DURING CONSTRUCTION THAT WOULD CAUSE A CHANGE IN THESE DESIGN PLANS THE CONTRACTOR SHALL COORDINATE THE CHANGES WITH THE ENGINEER OF RECORD.
8. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES AS OUTLINED WITH THE NHDES, NHDOT AND EPA STORMWATER RULES.
9. THE CONTRACTOR ARE TO REVIEW THIS PLAN SET AND FAMILIARIZE THEMSELVES WITH THE SITE LOCATION AND DESIGN.
10. IF GROUND WATER IS ENCOUNTERED DURING CONSTRUCTION, CONTACT THE ENGINEER TO INSURE THE DESIGN WILL ADEQUATELY HANDLE ANY UNANTICIPATED GROUNDWATER VOLUMES.
11. THE CONTRACTOR SHALL FOLLOW THE EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCES AS NOTED ON THESE PLANS AND THE DETAIL SHEETS.
12. A PRE-CONSTRUCTION MEETING WITH THE CITY OF NASHUA ENGINEERING DEPARTMENT WILL BE HELD PRIOR TO CONSTRUCTION.
13. AN ON SITE INVESTIGATION CONFIRMED THE ONSITE SOILS WOULD SUPPORT THE USE OF AN INFILTRATION SYSTEM. THE FOUNDATIONS WOULD NOT NEED FOUNDATION DRAINS GIVEN THE SOILS CONDITIONS FOUND.

1. LANDLOK IS MANUFACTURED BY SYNTHETIC INDUSTRIES AND DISTRIBUTED LOCALLY BY CONTECH CONSTRUCTION PRODUCTS, INC. OF NEW LONDON, NH 1-803-826-7496.
2. IF THERE IS A CONFLICT BETWEEN DETAILS OR NOTES FOR A MANUFACTURERS SPECIFICATION OR INSTALLATION THEN THE MANUFACTURES CONTROLS.
3. ALL DRAINAGE SNALES TO HAVE LANDLOK INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
4. IN AREAS WHERE THE SLOPES GREATER THAN 3:1 THE CONTRACTOR SHALL INSTALL LANDLOK C2 OR EQUAL TO STABILIZE PER MANUFACTURES SPECIFICATIONS
5. BLOCK AND GRAVEL SEDIMENT FILTERS ARE FOR TEMPORARY INLET PROTECTION. ONCE PAVEMENT HAS BEEN INSTALLED AND APPROVED THE BLOCK AND GRAVEL SEDIMENT FILTERS SHALL BE REMOVED.
6. SILTATION FENCE IN WOODED AREAS ARE TO BE INSTALLED WITH CARE TO NOT TO DESTROY EXISTING TREES. SILTATION FENCE SHALL BE INSTALLED PER DETAIL, IN EITHER CASE.

TEST PIT

DUMAINE AVENUE (PUBLIC - 50')

**Grading, Soils & Drainage**

Tax Parcel H-137 & H-149

Dumaine Avenue

City of Nashua,

Hillsborough County,

New Hampshire

prepared for:

75 Deerwood Drive, LLC

2 Knightsbridge Drive

Nashua, NH

**GATE CITY SURVEY**

Planning Surveying Engineering

WWW.GATECITYSURVEY.COM

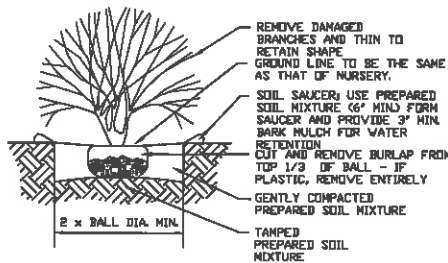
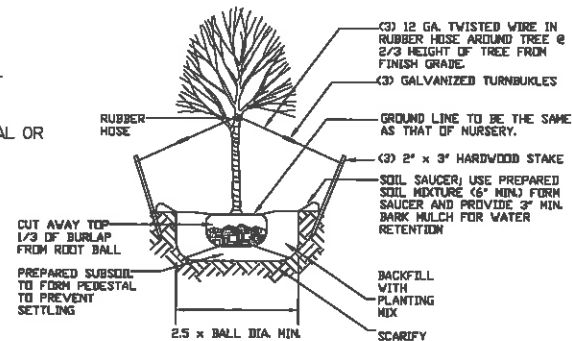
1 Tara Boulevard - Suite 200 - Nashua, NH 03062 Tel: 603-882-4655

Project: 20280 Scale: 1" = 20' Date: 08 / 24 / 2020 SHEET: 6 OF 10

NOTES:

1. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
2. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS; ORGANIC TOPSOIL, AMENDED WITH 10 MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
3. ALL PLANT MATERIALS PROPOSED SHALL BE INSTALLED WITHIN A PLANTING BED 4" MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
4. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING IN A HEALTHY, GROWING CONDITION. REGULAR MAINTENANCE SHALL CONSIST OF (1) VEGETATION REPLACEMENT; (2) IRRIGATION; (3) PRUNING, FERTILIZING AND INSECT/DISEASE CONTROL; (4) LITTER AND DEBRIS CLEANUP; & (5) DRAINAGE AND TREE PROTECTION.

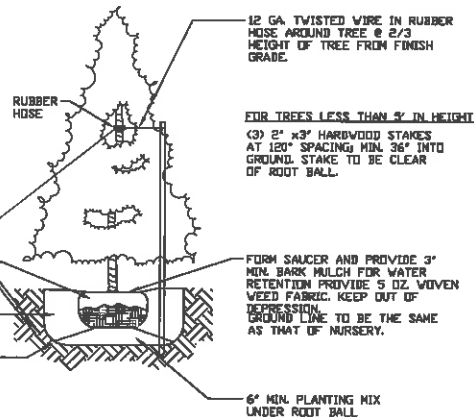
- ⊙ VIBERNUM
- Ⓛ RED TWIG DOGWOOD
- ⊗ MIXED PERENNIAL 1 GAL
- ⊘ DWARF MAIDEN GRASS 5 GAL OR DWARF ZEBRA GRASS 3 GAL
- ⊖ ROSE WEIGLEA 3 GAL OR LITTLE PRINCESS SPIRAEA 3 GAL OR SEA GREEN JUNIPER 3 GAL



SHRUB PLANTING DETAIL NOT TO SCALE

FOR TREES 5' IN HEIGHT OR GREATER

(3) 12 GA. TWISTED GUY WIRES @ 120\"/>



EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

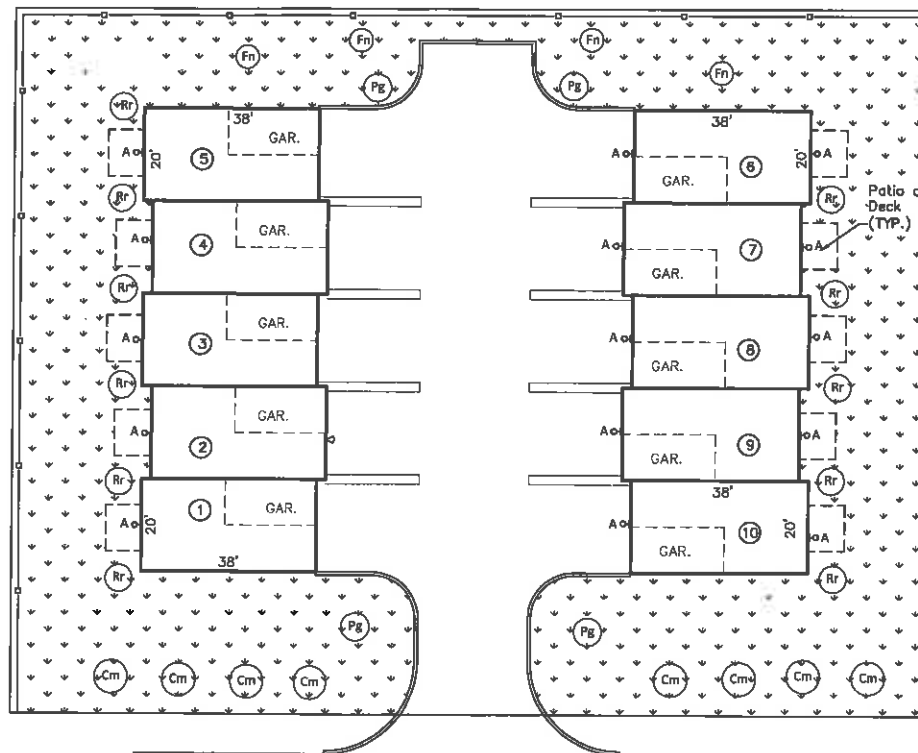
PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
CM	5	CORNUS MAS	CORNELIAN CHERRY DOGWOOD	6-7' B&B MULTI-STEM
FN	5	FORSYTHIA 'NORTHERN GOLD'	NORTHERN GOLD FORSYTHIA	24\"/>

LUMINAIRE SCHEDULE

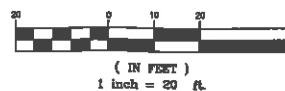
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	Watts
Ⓚ	A	18	STERNBERG #8112	EXTERIOR WALL BRACKET	1-F42TRT	2720	46

TYPE "A" FIXTURE DETAIL OR SIMILAR NOT TO SCALE



DUMAINE AVENUE (PUBLIC - 50')

GRAPHIC SCALE



NO.	DATE	REVISION	BY

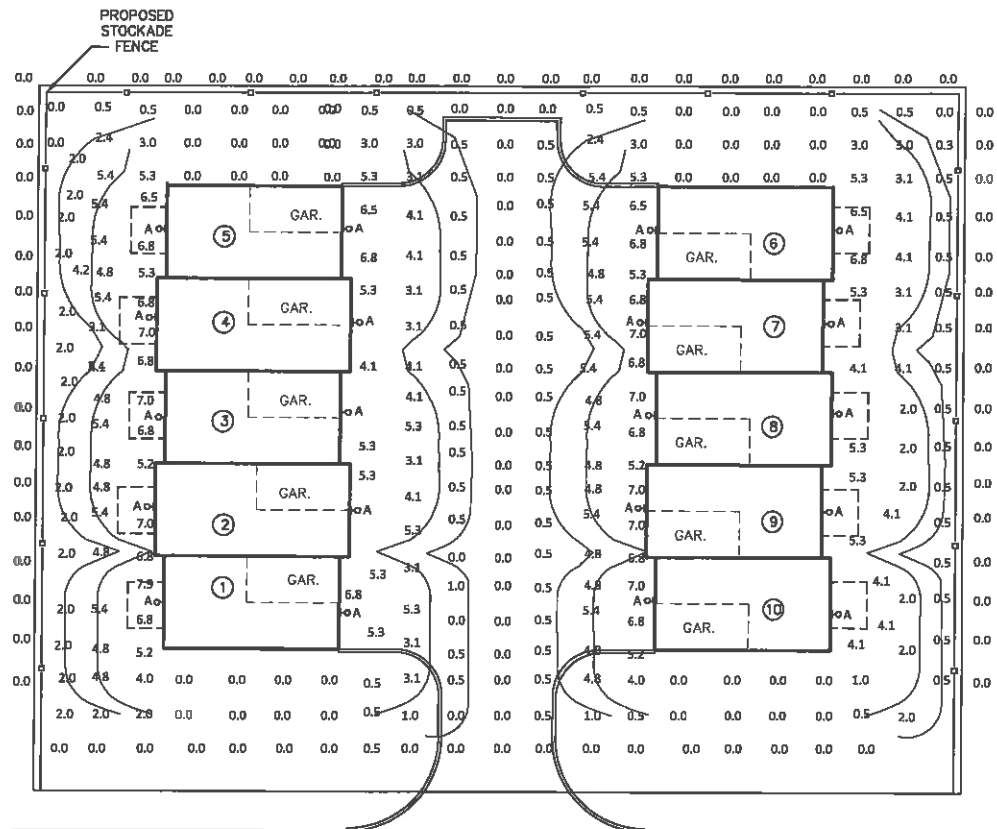
Landscaping & Lighting  
 Tax Parcel H-137 & H-149  
 Dumaine Avenue  
 City of Nashua,  
 Hillsborough County,  
 New Hampshire  
 prepared for:

Sequel Development  
 2 Knightsbridge Drive  
 Nashua, NH 03063



LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	Watts
▽	A	18	STERNBERG #8112	EXTERIOR WALL BRACKET	1-F42TRT	2720	46

TYPE "A" FIXTURE DETAIL OR SIMILAR  
NOT TO SCALE



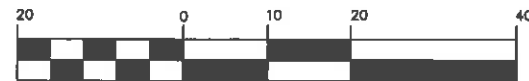
DUMAINE AVENUE (PUBLIC - 50')



**Lighting Contour**  
**Tax Parcel H-137 & H-149**  
**Dumaine Avenue**  
**City of Nashua,**  
**Hillsborough County,**  
**New Hampshire**

prepared for:

Sequel Development  
 2 Knightsbridge Drive  
 Nashua, NH 03063



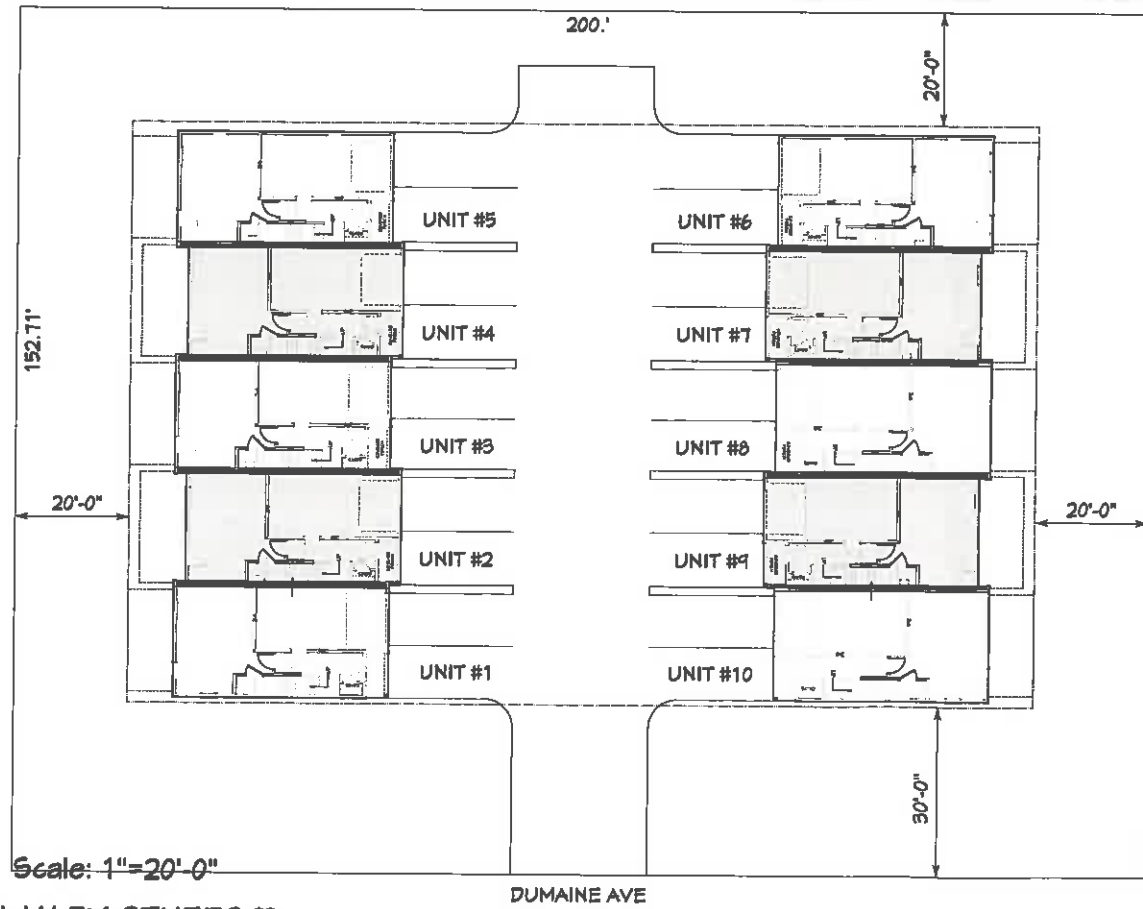
1 inch = 20 ft.

NO.	DATE	REVISION	BY





**SITE PLAN**



Scale: 1"=20'-0"

DUMAINE AVE

**NOTES:**

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NH STATE BUILDING CODE

The scope of this set of plans is to provide a "builder's set" of documents and general notes referred to as "plans", which is sufficient to obtain a building permit; but however it may need to be stamped by an engineer to obtain town approval. All materials and methods of construction necessary to complete the project are not necessarily described. The plans delineate and describe only locations, dimensions, and general methods. The implementation of these plans requires an Owner/Client/Contractor thoroughly knowledgeable with the applicable building codes and methods of construction specific to this product type and type of construction.

Codes: All construction shall comply with the most stringent requirements of all current applicable city, county, state and federal laws, rules, codes, ordinances and regulations. If the General Contractor or any Subcontractor performs any work in conflict with the above mentioned laws, rules, codes, ordinances and regulations, then the contractor in violation shall bear all costs of repair arising out of the non-conforming work.

1) These drawings have been prepared to generally meet accepted professional standards and practices, but not to specific site conditions/terrain of Owner's site. It is the Owner's responsibility to coordinate with an Engineer for lumber/material specifications.

2) Before starting construction, it is the Owner's responsibility to check all dimensions and details, and verify conformance with governing code requirements for the geographic area in which the house is to be built. Compliance with such requirements shall take precedence over these documents.

3) NHDC assumes no responsibility for these plans and makes no warranties, either expressed or implied, in the use of these plans. The Owner/Builder agrees to defend and indemnify NHDC for all claims, costs, losses or damages resulting from the use of these plans.

4) NHDC has not been engaged for construction supervision of any kind and assumes no responsibility to ensure that construction conforms to these plans, nor has any responsibility for construction means, methods, techniques, sequences, procedures or safety precautions in connection with the work.

5) NHDC shall NOT be liable for any direct, indirect, consequential, or incidental damages involving in the building, creation, production, structural integrity of this building.

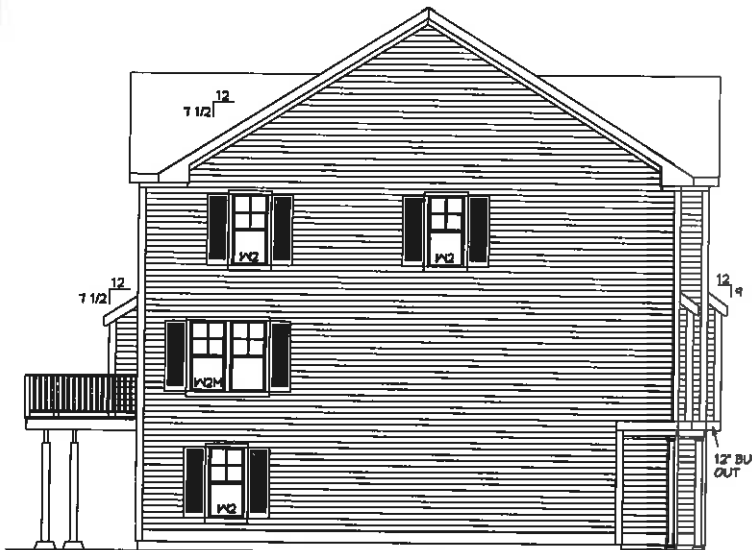
6) By accepting these drawings, the Owner has accepted and understands the drawings and that NHDC has drawn the plans in accordance to the Owner's wishes.

**Indemnification**  
By entering into this Agreement, you agree to indemnify and otherwise hold harmless the Company, its officers, employees, agents, subsidiaries, affiliates and other partners from any direct, indirect, incidental, special, consequential or exemplary damages, losses, or costs (including without limitation, attorneys' fees) resulting from your use of our Services.

**LEGEND**

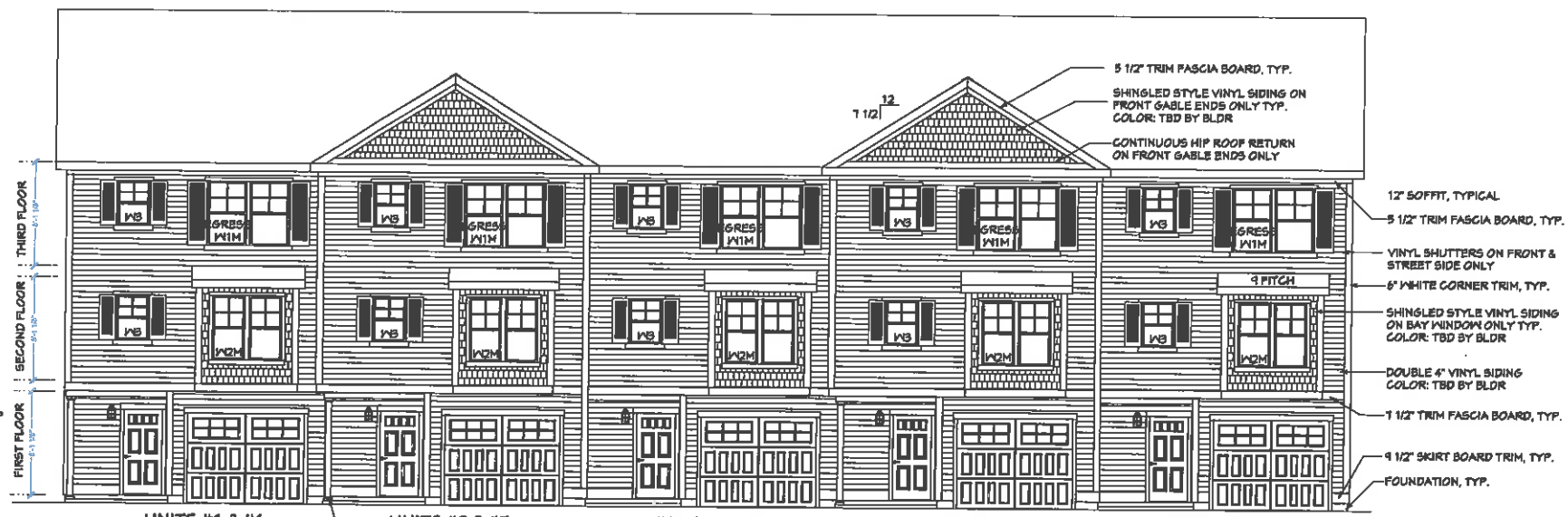
- PG. 1 SITE PLAN
- PG. 2 FIRST FLOOR PLANS & SCHEDULES
- PG. 3 SECOND FLOOR PLANS
- PG. 4 THIRD FLOOR PLANS
- PG. 5 FOUNDATION PLANS
- PG. 6 TYPICAL PLANS - FOUNDATION & 1ST FLOOR
- PG. 7 TYPICAL PLANS - 2ND & 3RD FLOORS
- PG. 8 ELEVATIONS
- PG. 9 SECTIONS & DETAILS
- PG. 10 ROOF PLAN

\*\* SEE SITE SURVEY PLAN BY OTHERS \*\*



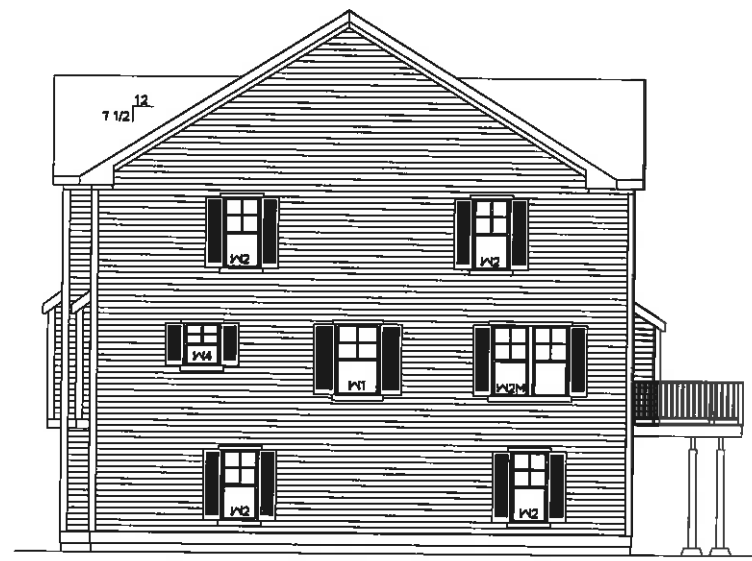
UNITS #1 & #6 (SHUTTERS ON #1 ONLY)

SIDE ELEVATION



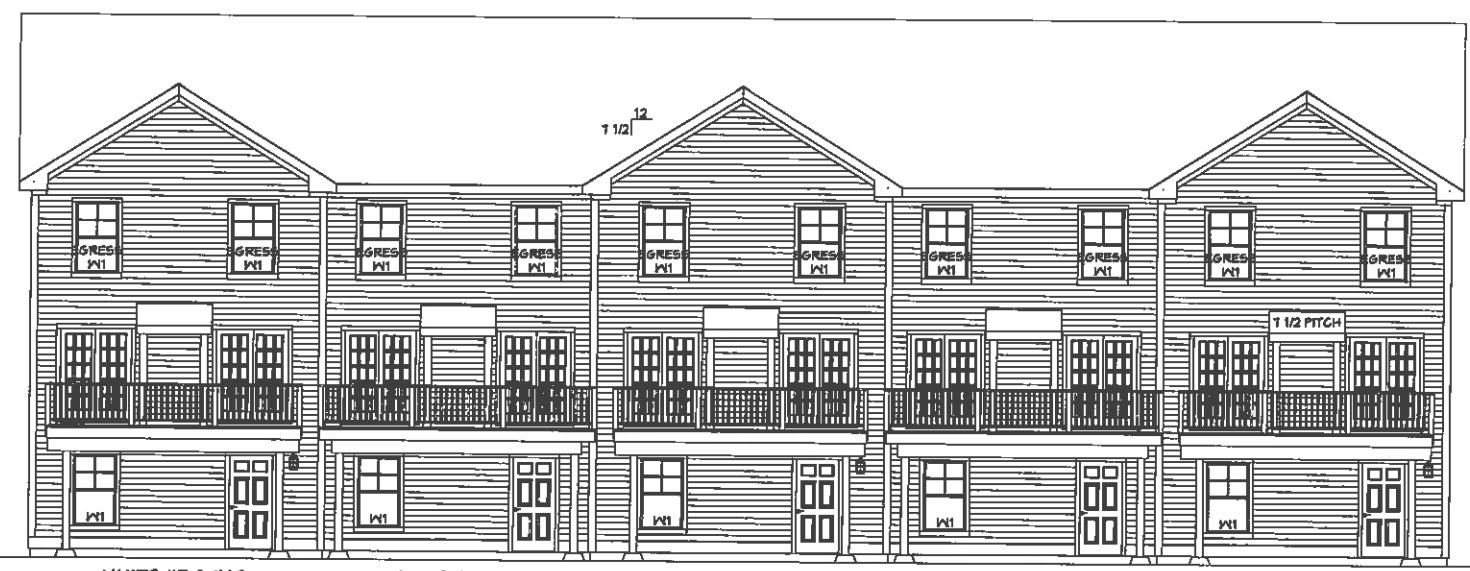
UNITS #1 & #6  
UNITS #2 & #7  
9\"/>

FRONT ELEVATION



UNITS #5 & #10 (SHUTTERS ON #10 ONLY)

SIDE ELEVATION



UNITS #5 & #10  
UNITS #4 & #9  
UNITS #3 & #8  
UNITS #2 & #7  
UNITS #1 & #6

REAR ELEVATION